

TIRZ PRIORITY PROJECTS

OLD FITZHUGH ROAD

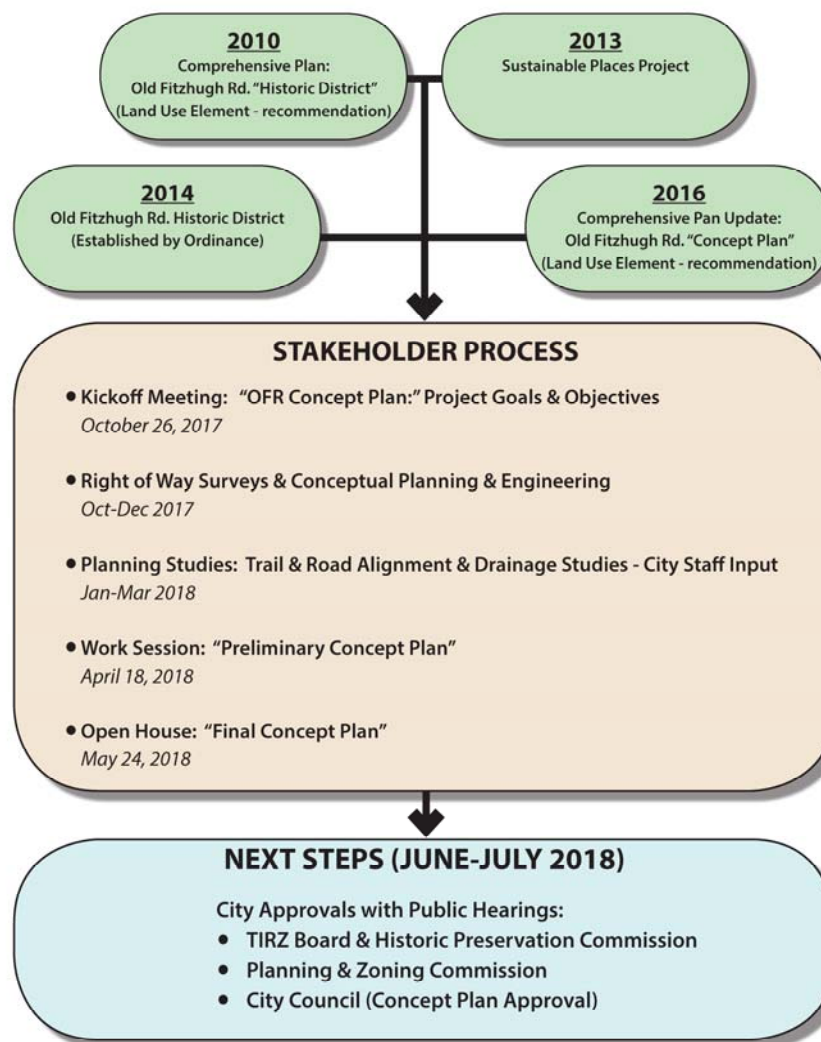
FINAL CONCEPT PLAN



*Presentation to
TIRZ Board
DRAFT May 31, 2018*

Old Fitzhugh Road

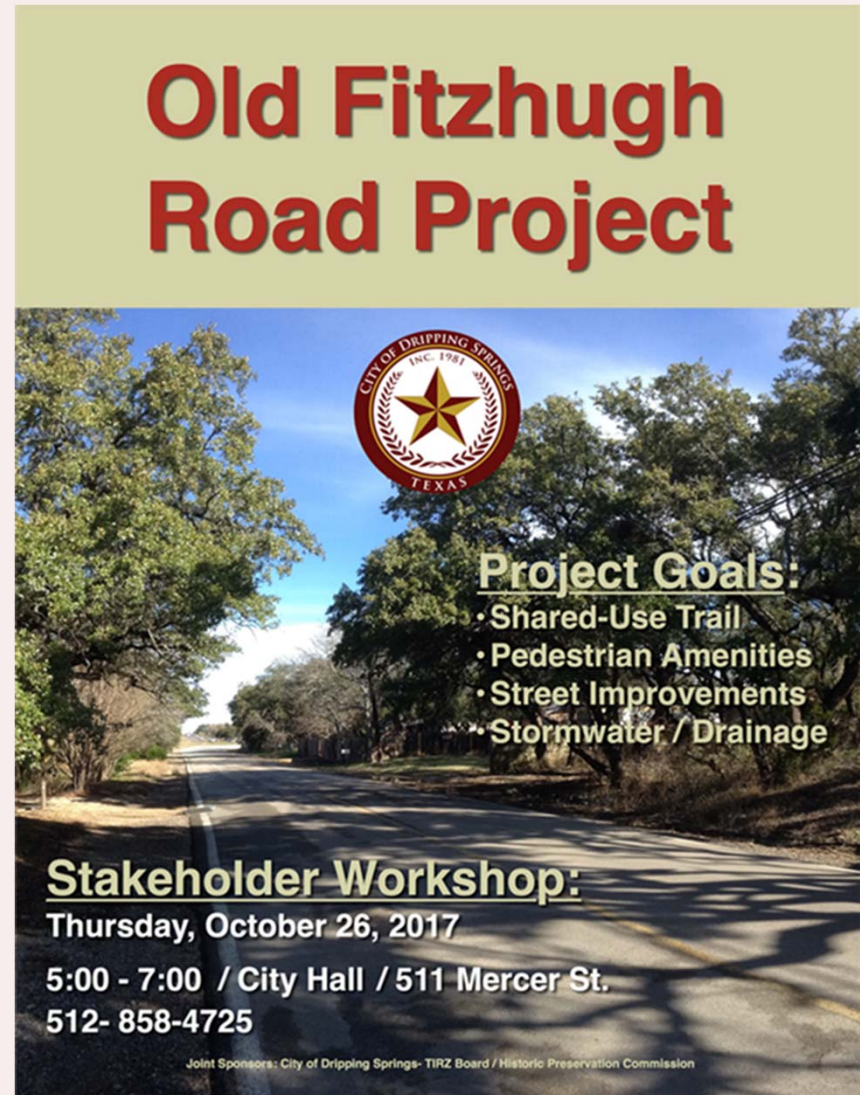
Policy Background & Planning Process



Old Fitzhugh Road

Project Kick-Off Goals

- Shared-Use Trail
- Pedestrian Amenities
- Street Improvements
- Stormwater / Drainage

A poster for the Old Fitzhugh Road Project. The top section has a light green background with the title 'Old Fitzhugh Road Project' in large, bold, red letters. Below this is a photograph of a paved road lined with trees. Overlaid on the right side of the photo is the City of Dripping Springs logo, which is a circular seal with a star in the center and the text 'CITY OF DRIPPING SPRINGS INC. 1981 TEXAS'. To the right of the logo, the text 'Project Goals:' is underlined, followed by a bulleted list: '• Shared-Use Trail', '• Pedestrian Amenities', '• Street Improvements', and '• Stormwater / Drainage'. At the bottom of the poster, the text 'Stakeholder Workshop:' is underlined, followed by 'Thursday, October 26, 2017', '5:00 - 7:00 / City Hall / 511 Mercer St.', and '512- 858-4725'. At the very bottom, in small text, it says 'Joint Sponsors: City of Dripping Springs- TIRZ Board / Historic Preservation Commission'.

Old Fitzhugh Road

Stakeholder Input (October 2017)

QUALITIES TO PRESERVE

TREES
ECLECTIC LOCAL SHOPS
SMALL TOWN/COUNTRY FEEL
OLD HOMES/HISTORIC BUILDINGS

CHALLENGES

NARROW IRREGULAR ROW
DRAINAGE
UTILITIES
ROUGH ROAD SURFACE
LACK OF COMMERCIAL IDENTITY
SPEEDING TRAFFIC
POOR LIGHTING
ON-STREET PARKING
OVER-COMMERCIALIZATION

TOP 3 IMPROVEMENTS DESIRED

	Number of Responses			
	1st Choice	2nd Choice	3rd Choice	TOTAL
SIDEWALKS	4	3	2	9
TRAFFIC CALMING	3	1	2	6
CURBSIDE PARKING	2	0	2	4
LIGHTING	0	1	1	2
MIX OF RESIDENTIAL & COMMERCIAL	0	1	1	2
TRAIL	1	0	1	2
TREES	0	1	0	1
RAIN GARDENS	1	0	0	1

Old Fitzhugh Road

Stakeholder Input (April 2018)



Old Fitzhugh Road

Constraints

- Right-of-way ranges between 45 and 55 feet in width.
- Some property lines come to the center of the street.
- Existing trees within ROW will limit some options.
- Run-off sheet flows from east to west across roadway and adjacent properties.
- Some overhead electric poles will need to be moved.

Old Fitzhugh Road



05/31/2018

**Dripping Spring TIRZ Priority
Projects**

7

Old Fitzhugh Road



Old Fitzhugh Road



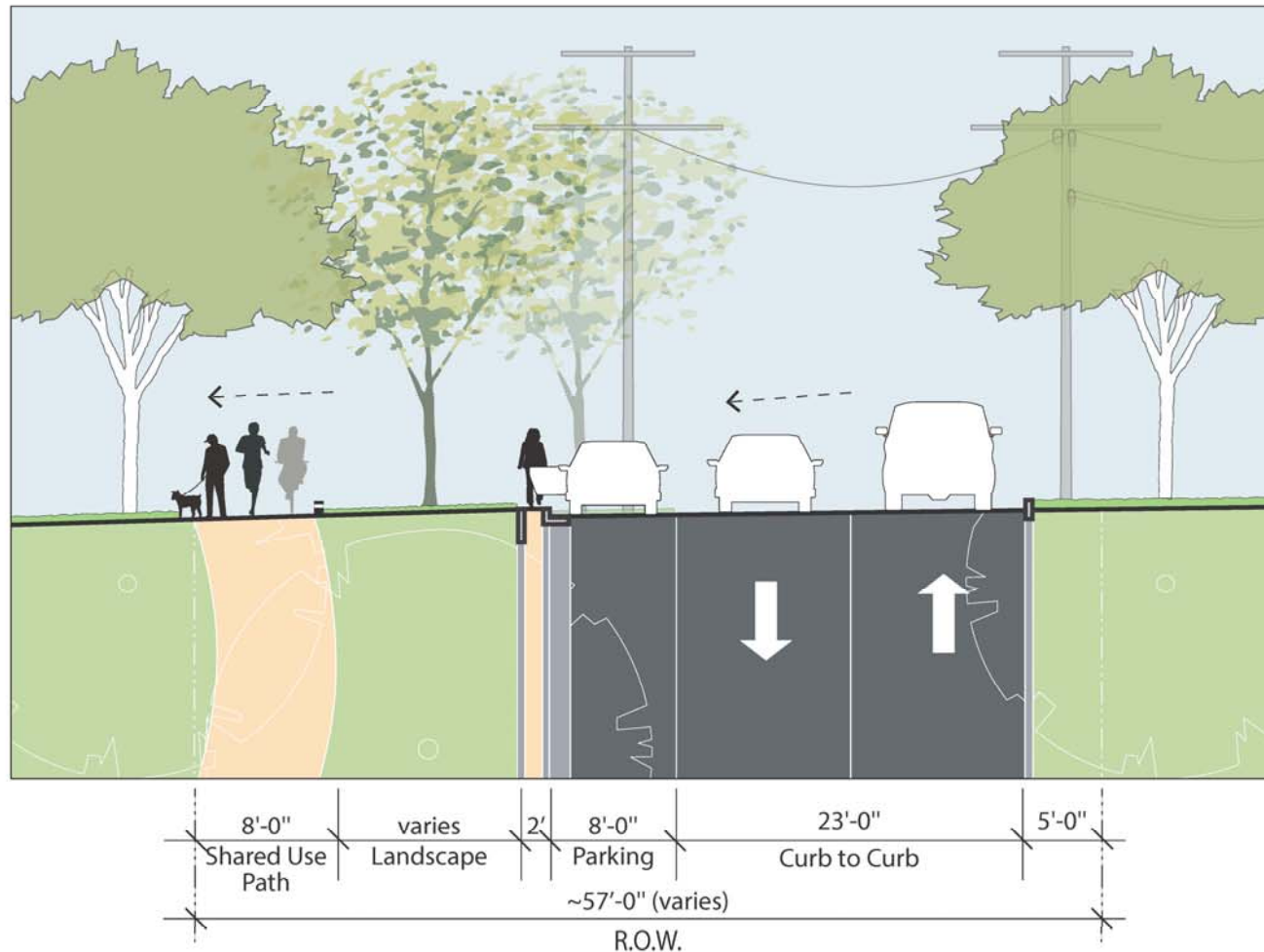
Old Fitzhugh Road

Conceptual Solutions & Strategies

- Enhance rustic 2 lane road with needed improvements.
- Shift Roadway alignment to accommodate Shared Use Path on the West side of the roadway.
- Create community connections along OFR and to the east and west with future trail extensions.
- Improve drainage, water quality, and roadway elements.
- Develop pedestrian, lighting, parking, and landscape solutions.

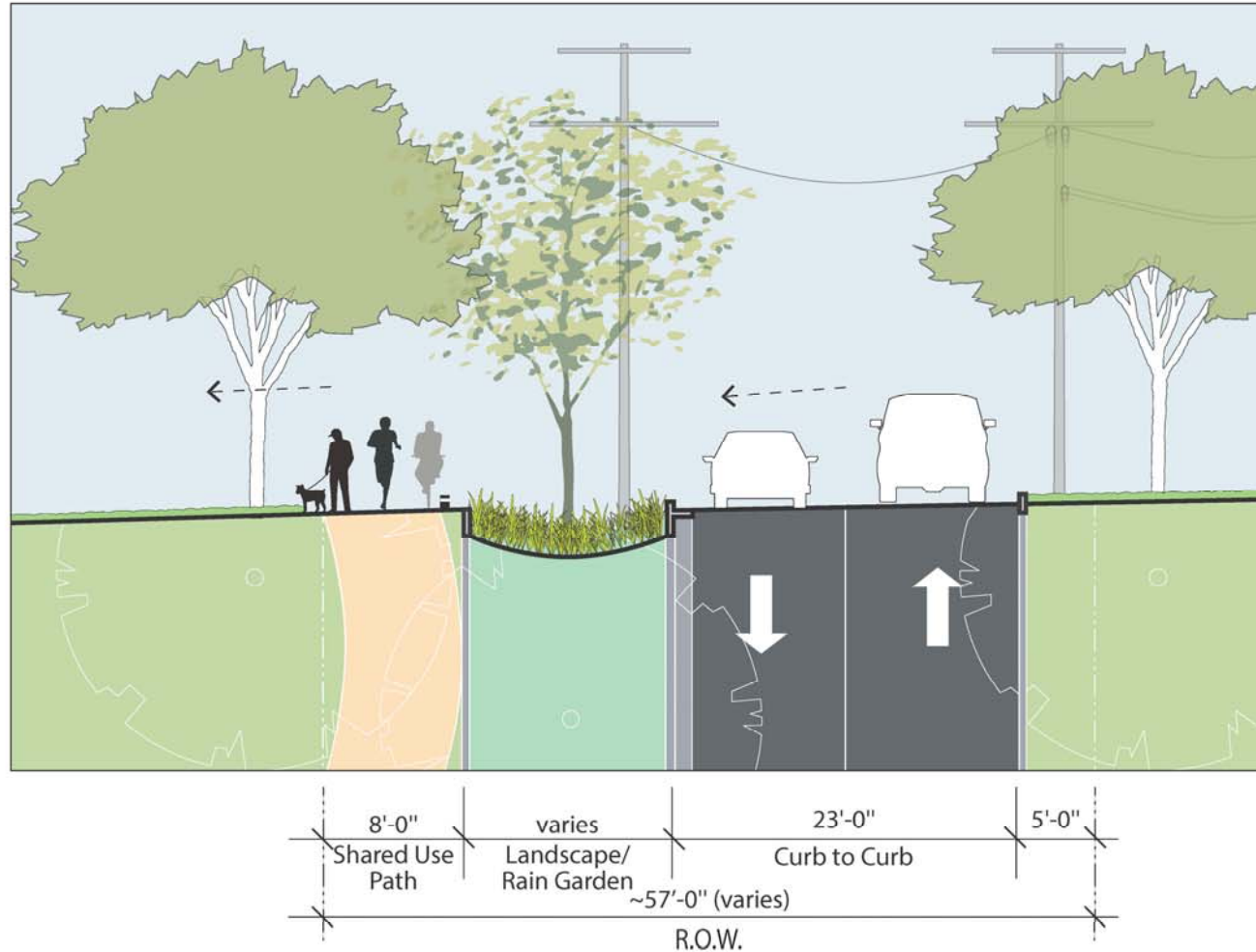
Old Fitzhugh Road

Section A Condition 1: Typical with Parking (Looking North)



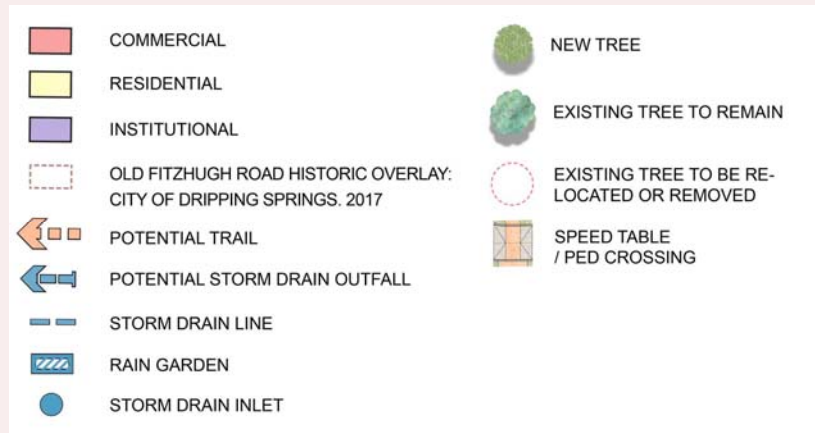
Old Fitzhugh Road

Section A Condition 2: Typical without Parking (Looking North)



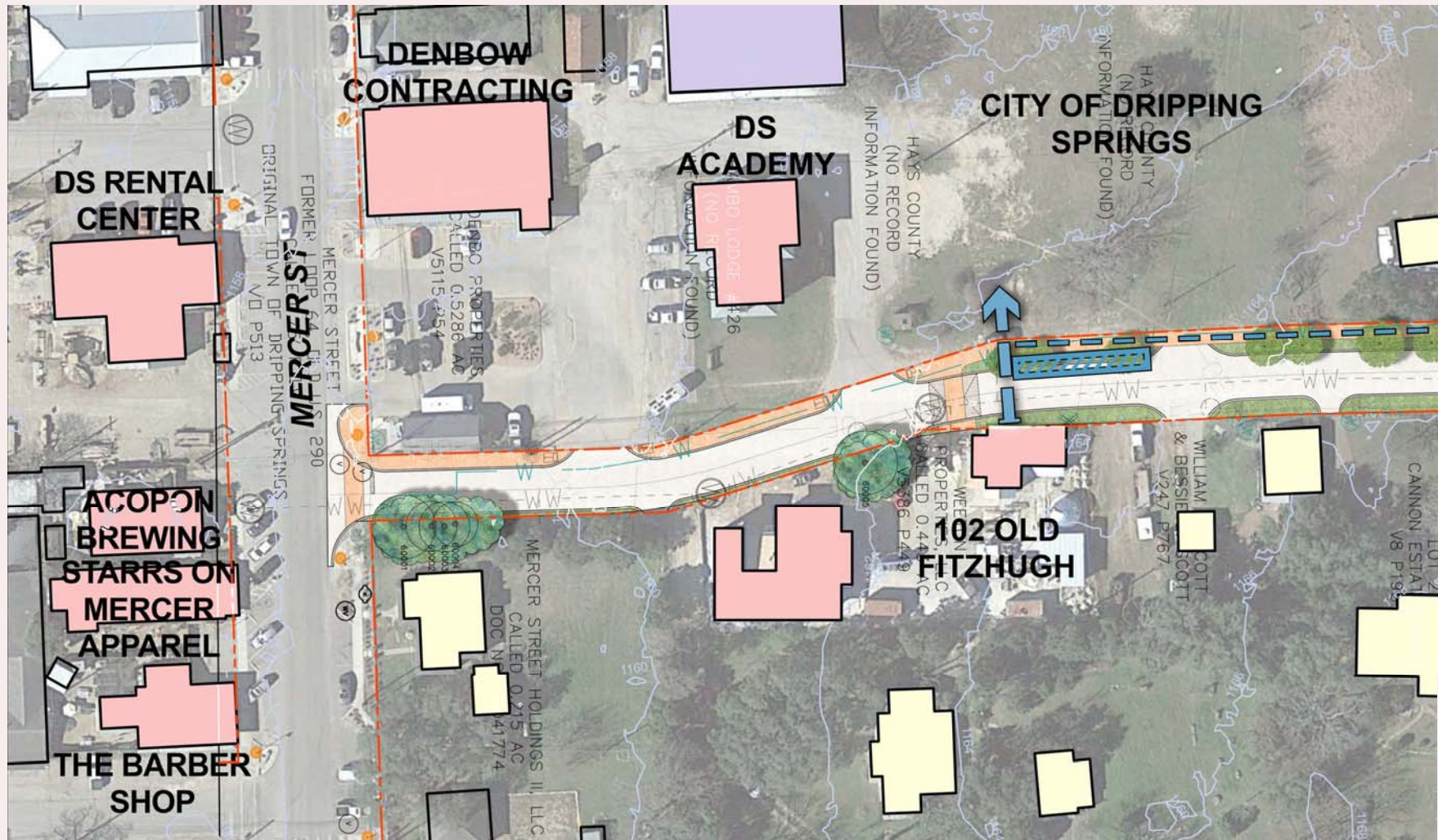
Old Fitzhugh Road

Overall Concept Plan



Old Fitzhugh Road

Plan Detail at Mercer Street



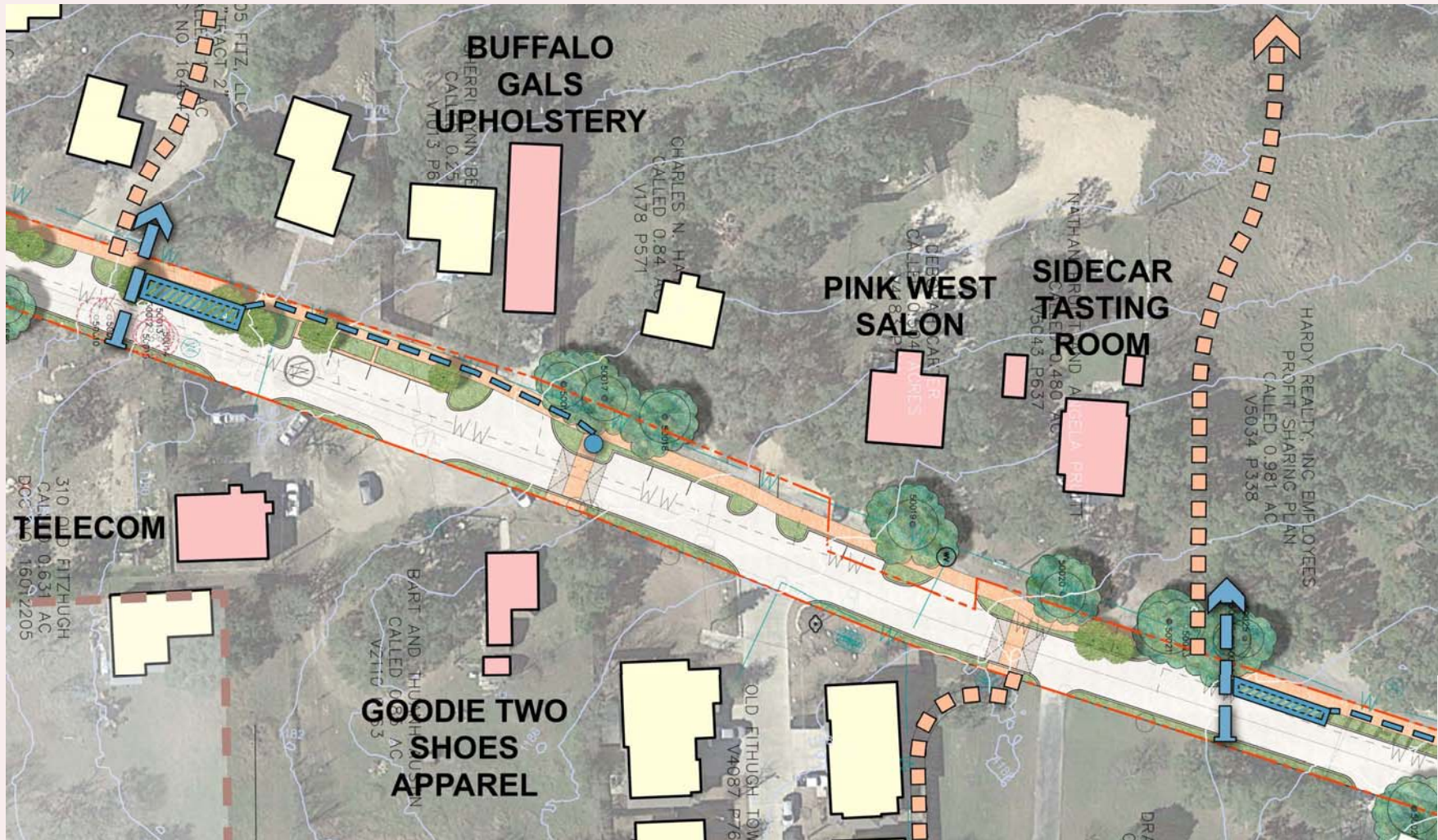
Old Fitzhugh Road

Plan Detail



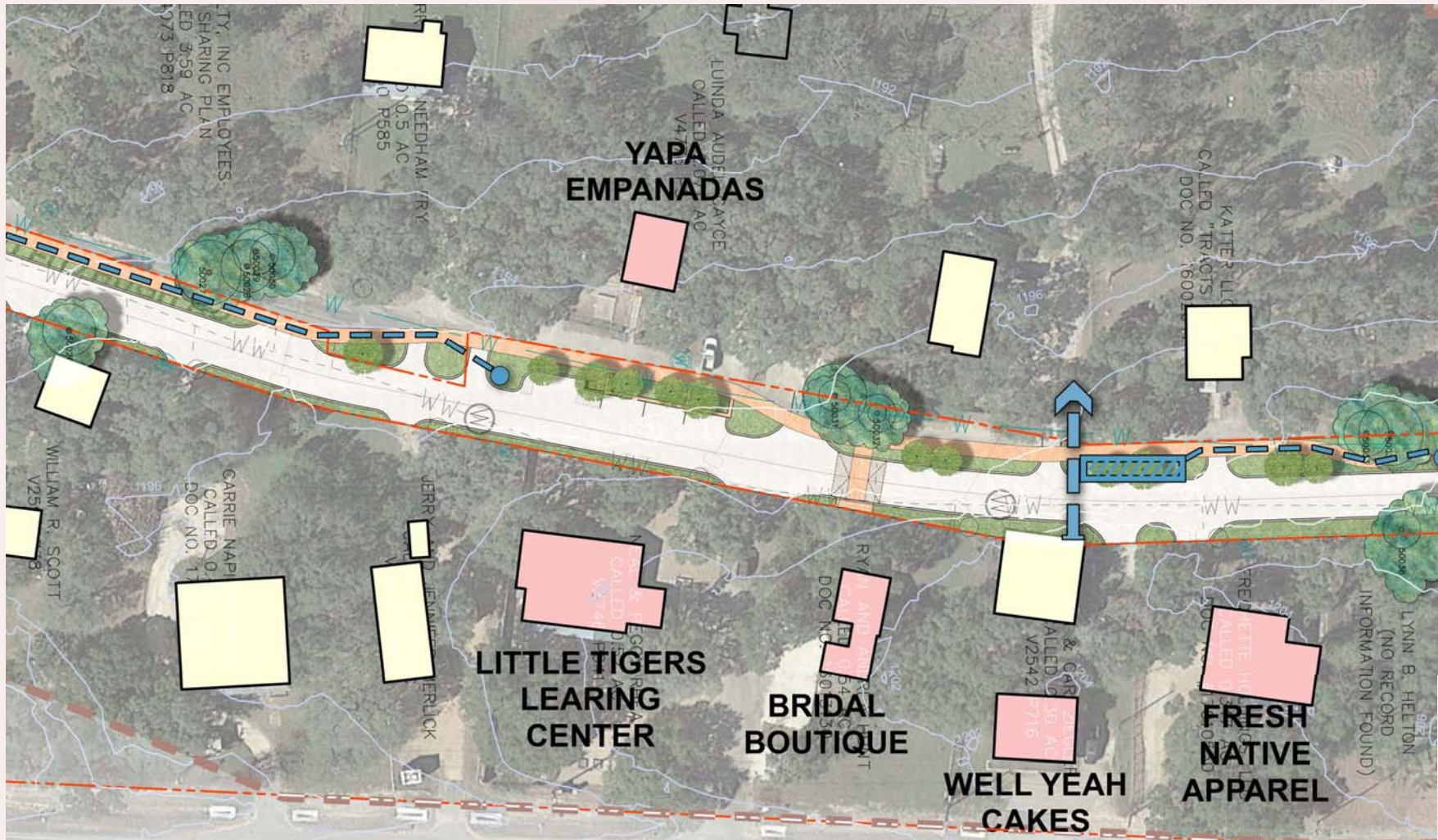
Old Fitzhugh Road

Plan Detail



Old Fitzhugh Road

Plan Detail



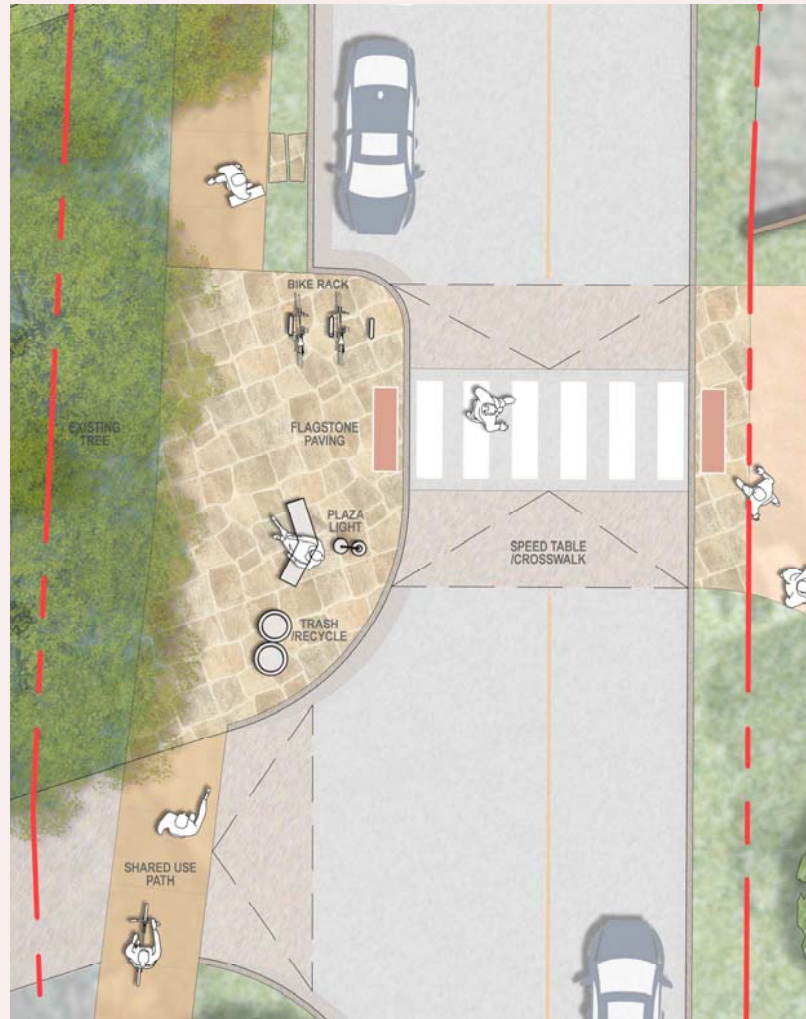
Old Fitzhugh Road

Plan Detail at RM 12



Old Fitzhugh Road

Activity Plaza & Traffic Calming



Old Fitzhugh Road

Recommended Materials, Treatments, & Elements

Shared Use Path

EXPOSED AGGREGATE



EXPOSED AGGREGATE WITH FLAGSTONE



Lighting & Pedestrian Amenities

MERCER STREET LIGHTING



PATHWAY LIGHTING



Drainage & Water Quality

ARMORED CURB INLET



STRUCTURED RAIN GARDEN



Curbs

STANDING STONE CURB



STONE CURB WITH GUTTER



Traffic Calming & Crossings

SPEED TABLE CROSSWALKS



Shared Use Path



EXPOSED AGGREGATE CONCRETE



EXPOSED AGGREGATE WITH FLAGSTONE

Lighting & Pedestrian Amenities



MERCER STREET LIGHTING



PATHWAY LIGHTING

Drainage and Water Quality



STRUCTURED RAIN GARDEN



ARMORED CURB INLET

Curbs



STANDING STONE CURB



STONE CURB WITH GUTTER

Traffic Calming & Crossings



SPEED TABLE CROSSWALKS

Old Fitzhugh Road

Stakeholder Input (*May 2018*)

- Parking: Maximize on-street parking opportunities.
- Signage: Provide stronger business district identity along RM 12.
- Rain Gardens: Ensure that rain gardens can be maintained.
- Drainage: Address drainage issues at the RM12 intersection.
- Materials: Support for the proposed range of materials.
- Website: Post the plan online.
- Implementation: Identify funding and project schedule.

Old Fitzhugh Road

NEXT STEPS

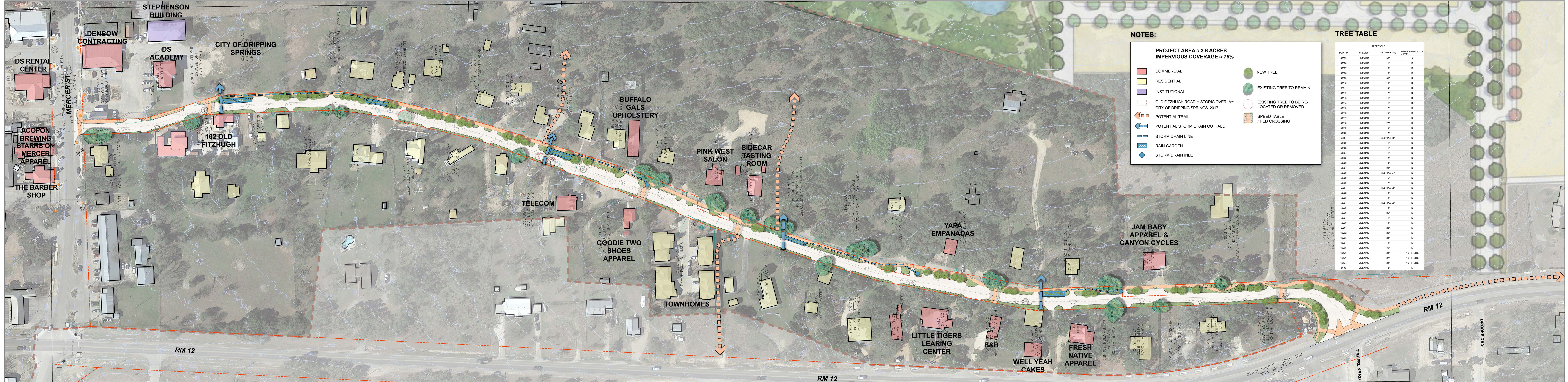
1. Finalize Plans & Conceptual Budget
2. TIRZ Board, Historic Preservation, Parks, Transportation, & Planning & Zoning Commissions
3. City Council (Concept Plan Approval)



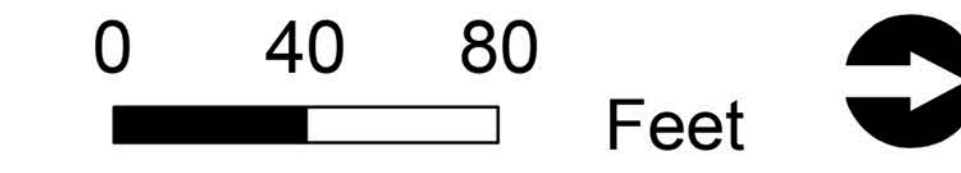
NEXT STEPS (JUNE-JULY 2018)

City Approvals with Public Hearings:

- TIRZ Board & Historic Preservation Commission
- Planning & Zoning Commission
- City Council (Concept Plan Approval)

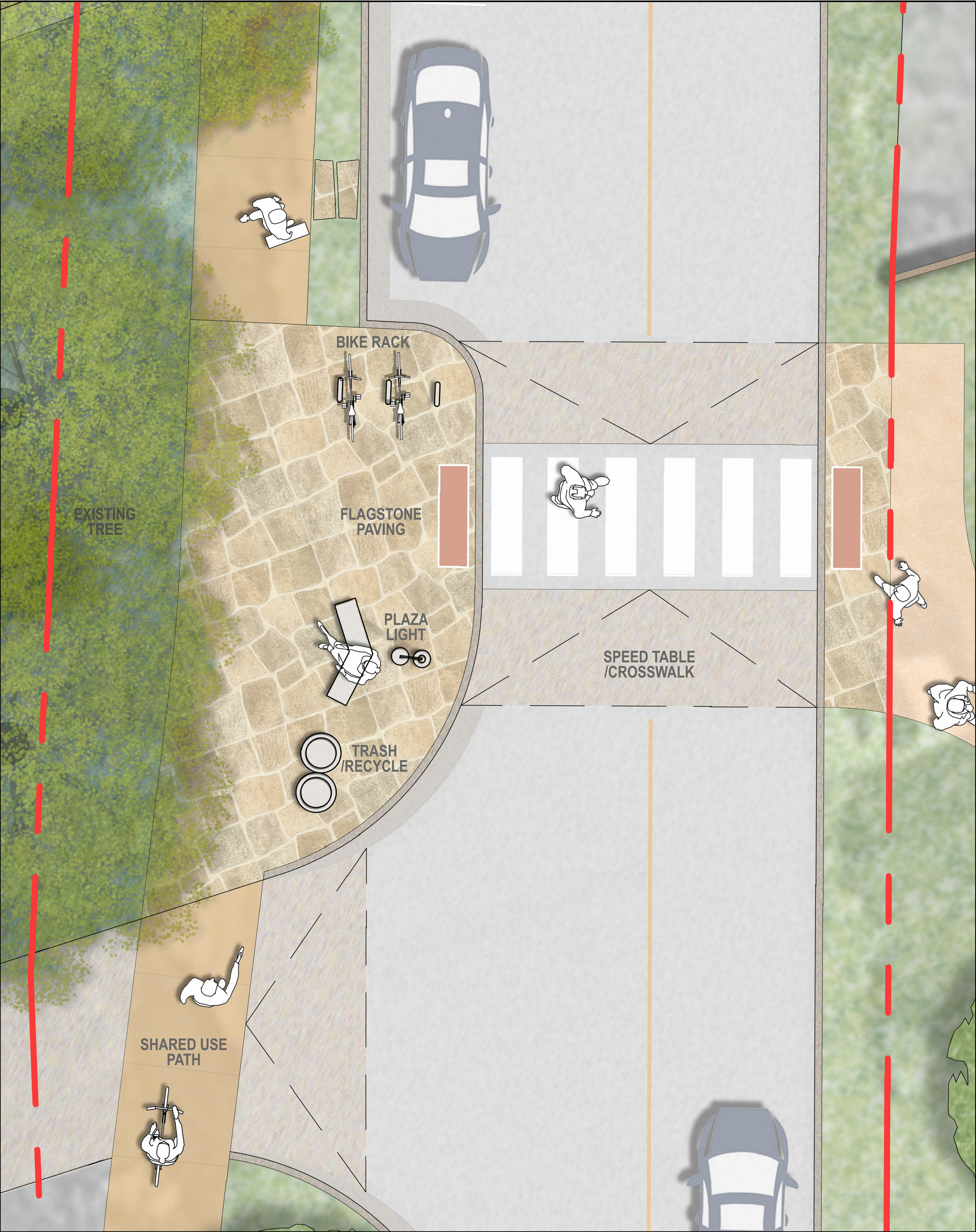


DRAFT
Old Fitzhugh Road Concept Plan
Dripping Springs
McCann Adams Studio May 29, 2018

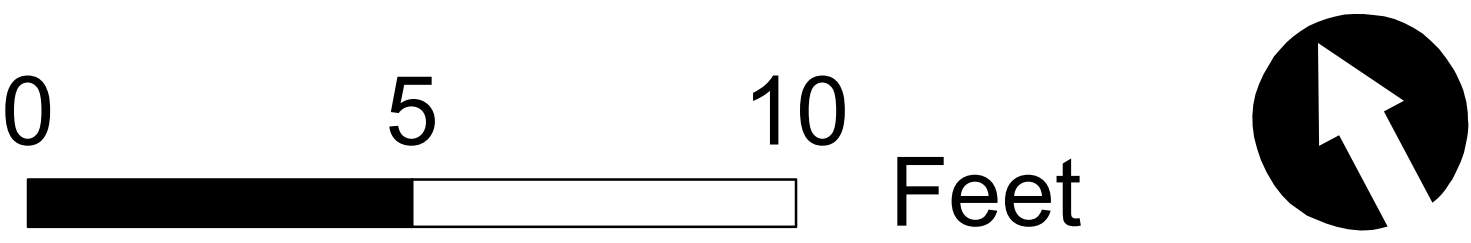


- NOTES:
- PROJECT AREA ≈ 3.6 ACRES
IMPERVIOUS COVERAGE ≈ 75%
 - COMMERCIAL
 - RESIDENTIAL
 - INSTITUTIONAL
 - OLD FITZHUGH ROAD HISTORIC OVERLAY:
CITY OF DRIPPING SPRINGS, 2017
 - POTENTIAL TRAIL
 - POTENTIAL STORM DRAIN OUTFALL
 - STORM DRAIN LINE
 - RAIN GARDEN
 - STORM DRAIN INLET
 - NEW TREE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE RE-LOCATED OR REMOVED
 - SPEED TABLE / PED CROSSING

TREE TABLE			
POINT #	SPECIES	DIAMETER (IN.)	REMOVE/RELOCATE
50005	LIVE OAK	30"	K
50006	LIVE OAK	11"	K
50007	LIVE OAK	18"	K
50008	LIVE OAK	15"	K
50009	LIVE OAK	31"	R
50010	LIVE OAK	13"	R
50011	LIVE OAK	14"	R
50012	LIVE OAK	12"	R
50013	LIVE OAK	11"	R
50014	LIVE OAK	11"	R
50015	LIVE OAK	12"	K
50016	LIVE OAK	15"	K
50017	LIVE OAK	15"	K
50018	LIVE OAK	22"	K
50019	LIVE OAK	15"	K
50020	LIVE OAK	12"	K
50021	LIVE OAK	MULTIPLE 36"	K
50022	LIVE OAK	11"	K
50023	LIVE OAK	11"	R
50024	LIVE OAK	11"	K
50025	LIVE OAK	12"	K
50026	LIVE OAK	19"	K
50027	LIVE OAK	28"	K
50028	LIVE OAK	MULTIPLE 24"	K
50029	LIVE OAK	15"	K
50030	LIVE OAK	17"	K
50031	LIVE OAK	MULTIPLE 28"	K
50032	LIVE OAK	18"	K
50033	LIVE OAK	15"	K
50034	LIVE OAK	MULTIPLE 32"	K
50035	LIVE OAK	12"	K
50036	LIVE OAK	25"	K
50037	LIVE OAK	11"	K
50038	LIVE OAK	10"	K
60001	LIVE OAK	28"	K
60002	LIVE OAK	27"	K
60003	LIVE OAK	24"	K
60004	LIVE OAK	18"	K
60005	LIVE OAK	30"	K
60125	LIVE OAK	24"	NOT IN SITE
60126	LIVE OAK	27"	NOT IN SITE
60127	LIVE OAK	24"	NOT IN SITE
50680	LIVE OAK	12"	K



ILLUSTRATIVE VIEW
COMMERCIAL NODE CROSSING
Dripping Springs - Old Fitzhugh Road
Draft: McCann Adams Studio May 24, 2018



Curbs

CURB & GUTTER



STANDING CURB



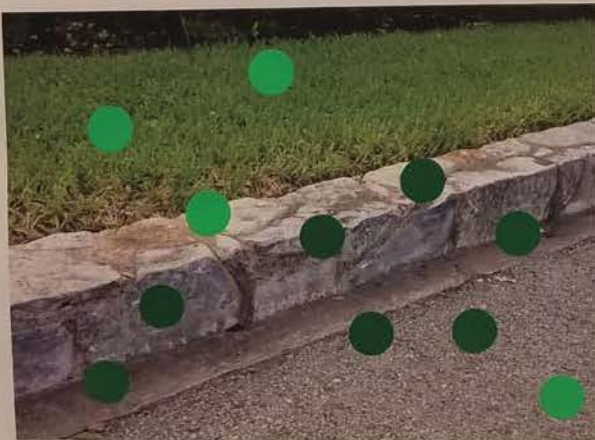
GRANITE CURB



RIBBON CURB



STONE CURB



Drainage & Water Quality

STRUCTURED RAIN GARDEN



SHALLOW BIOSWALE



ARMORED CURB INLET



CURB INLET WITH GRATE



Shared Use Path

EXPOSED AGGREGATE



PERVIOUS PAVERS



DECOMPOSED GRANITE



ASPHALT



OLD FITZHUGH ROAD PROJECT
Dripping Springs TIRZ Priority Projects

April 18, 2018



Traffic Calming & Crossings

PRESERVE EXISTING TREES



SPEED TABLE CROSSWALKS



LIVE OAK TRAFFIC ISLAND



SPEED CUSHIONS



CENTER ISLAND



Lighting

POOLS OF TRAIL LIGHTING



TREE UPLIGHTING



MERCER STREET LIGHTING



DECORATIVE LIGHTING



PATHWAY LIGHTING



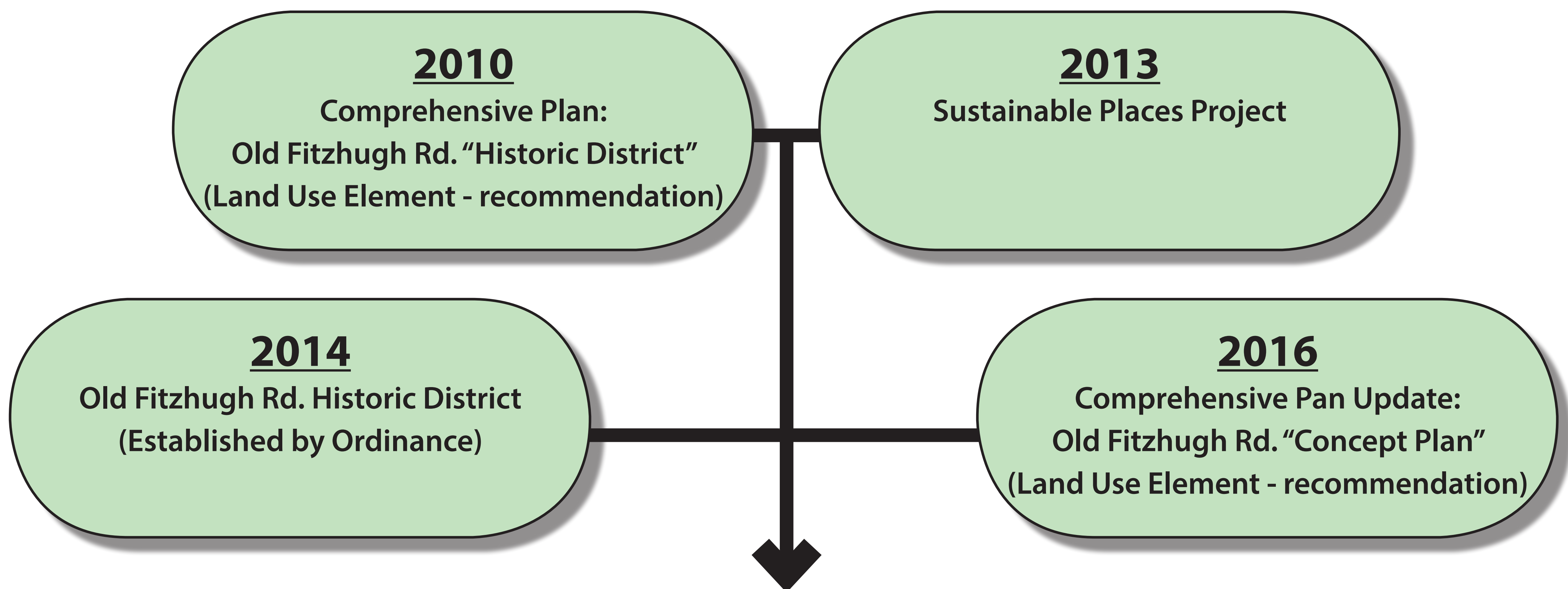
OLD FITZHUGH ROAD PROJECT
Dripping Springs TIRZ Priority Projects

April 18, 2018



Old Fitzhugh Road Planning Process

POLICY FRAMEWORK



STAKEHOLDER PROCESS

- Kickoff Meeting: "OFR Concept Plan:" Project Goals & Objectives
October 26, 2017
- Right of Way Surveys & Conceptual Planning & Engineering
Oct-Dec 2017
- Planning Studies: Trail & Road Alignment & Drainage Studies - City Staff Input
Jan-Mar 2018
- Work Session: "Preliminary Concept Plan"
April 18, 2018
- Open House: "Final Concept Plan"
May 24, 2018

NEXT STEPS (JUNE-JULY 2018)

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OLD FITZHUGH ROAD PROJECT
Dripping Springs TIRZ Priority Projects



Recommended Materials, Treatments, & Elements

Shared Use Path

EXPOSED AGGREGATE



EXPOSED AGGREGATE WITH FLAGSTONE



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STRUCTURED RAIN GARDEN

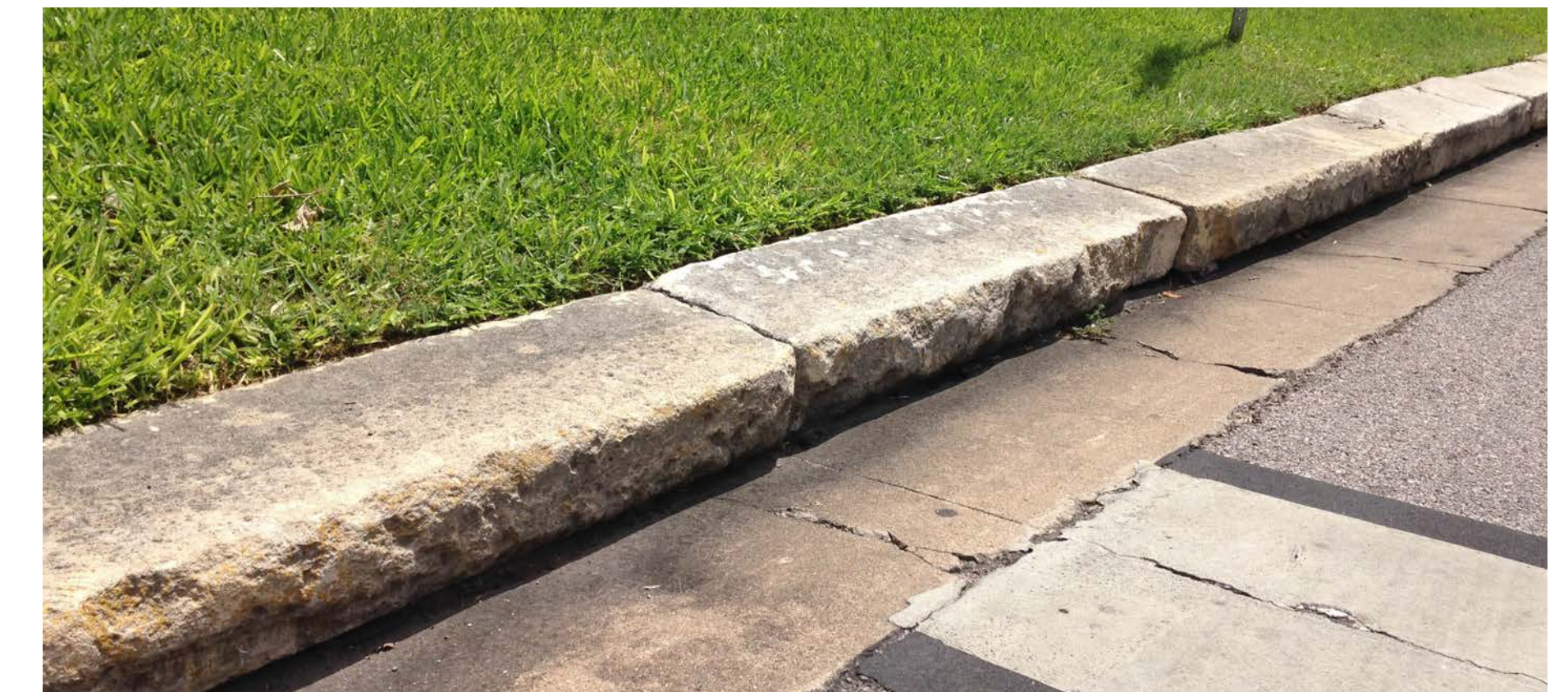


Curbs

STANDING STONE CURB



STONE CURB WITH GUTTER

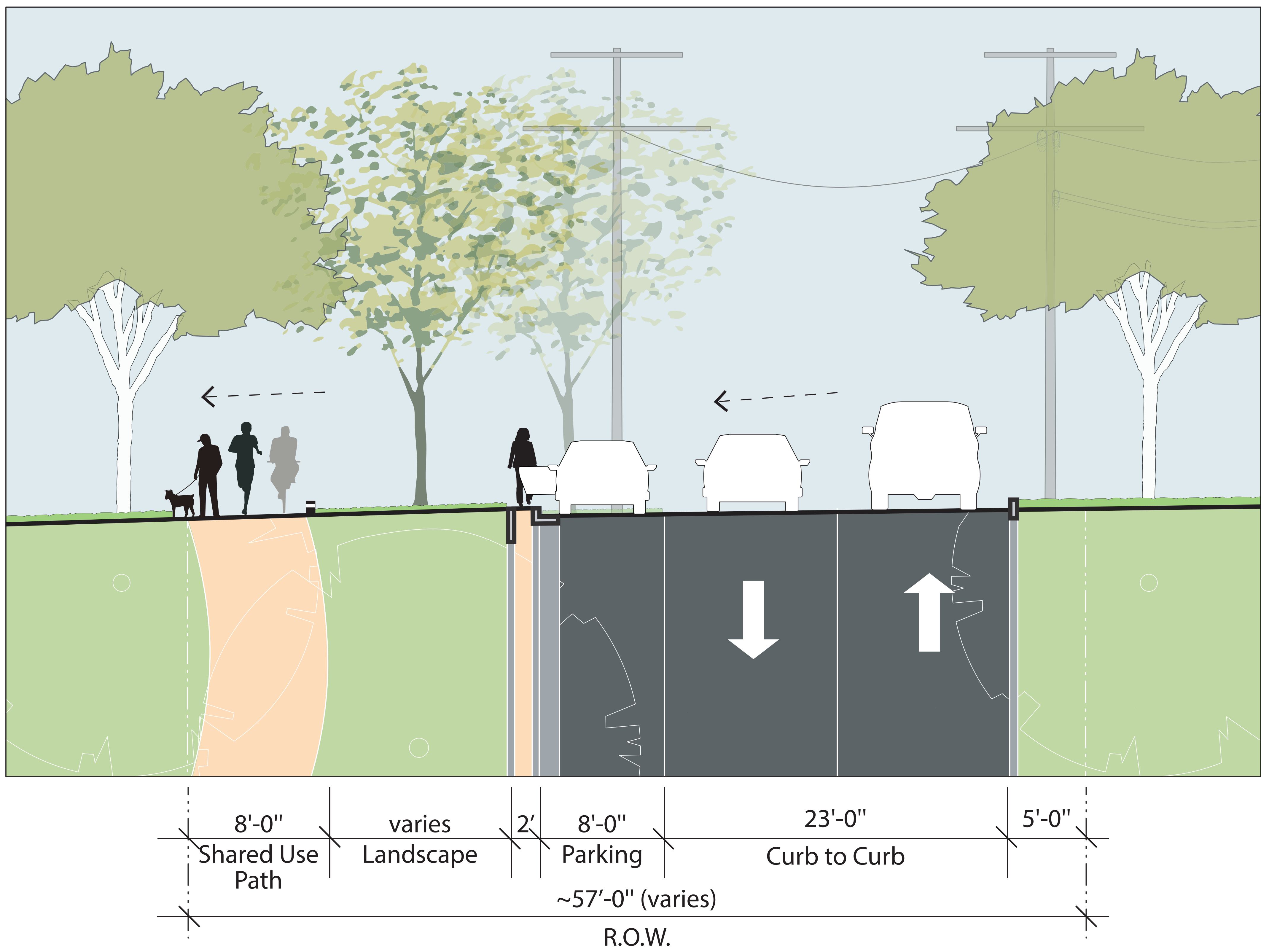


Traffic Calming & Crossings

SPEED TABLE CROSSWALKS

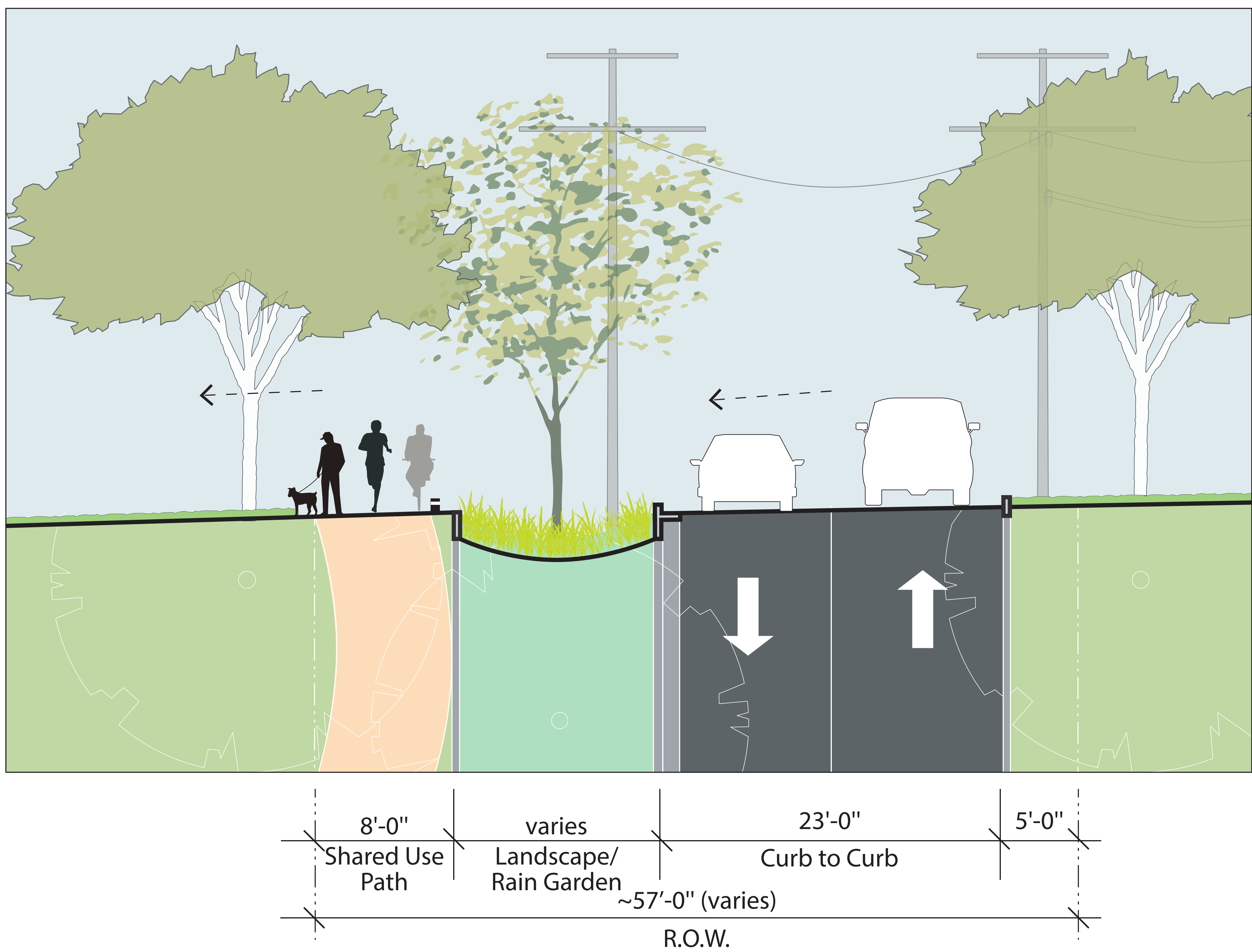


OLD FITZHUGH ROAD PROJECT
Dripping Springs TIRZ Priority Projects



0' 5' 10 Feet

SECTION A CONDITION 1: TYPICAL WITH PARKING (LOOKING NORTH)



0' 5' 10 Feet

SECTION A CONDITION 2: TYPICAL WITHOUT PARKING (LOOKING NORTH)

OLD FITZHUGH ROAD PROJECT **Dripping Springs TIRZ Priority Projects**

Old Fitzhugh Road Stakeholder Input

TOP 3 IMPROVEMENTS DESIRED

	Number of Responses			
	1st Choice	2nd Choice	3rd Choice	TOTAL
SIDEWALKS	4	3	2	9
TRAFFIC CALMING	3	1	2	6
CURBSIDE PARKING	2	0	2	4
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TRAIL	1	0	1	2
TREES	0	1	0	1
RAIN GARDENS	1	0	0	1

QUALITIES TO PRESERVE

TREES
ECLECTIC LOCAL SHOPS
SMALL TOWN/COUNTRY FEEL
OLD HOMES/HISTORIC BUILDINGS

CHALLENGES

NARROW IRREGULAR ROW
DRAINAGE
UTILITIES
ROUGH ROAD SURFACE
LACK OF COMMERCIAL IDENTITY
SPEEDING TRAFFIC
POOR LIGHTING
ON-STREET PARKING
OVER-COMMERCIALIZATION



FITZHUGH LIMITED PARTNERSHIP
CALLED 1.285 AC
DOC NO. 16014703

CITY OF DRIPPING SPRINGS

HAYS COUNTY
(NO RECORD
INFORMATION FOUND)

DS ACADEMY

AMBO LODGE #426
(NO RECORD
INFORMATION FOUND)

DENBO PROPERTIES
CALLED 0.5286 AC
V5115 P54

DENBOW CONTRACTING

FORMER
CALLED 0.215 AC
V5115 P54
MERCER ST 290
ORIGINAL TOWN OF DRIPPING SPRINGS

102 OLD FITZHUGH

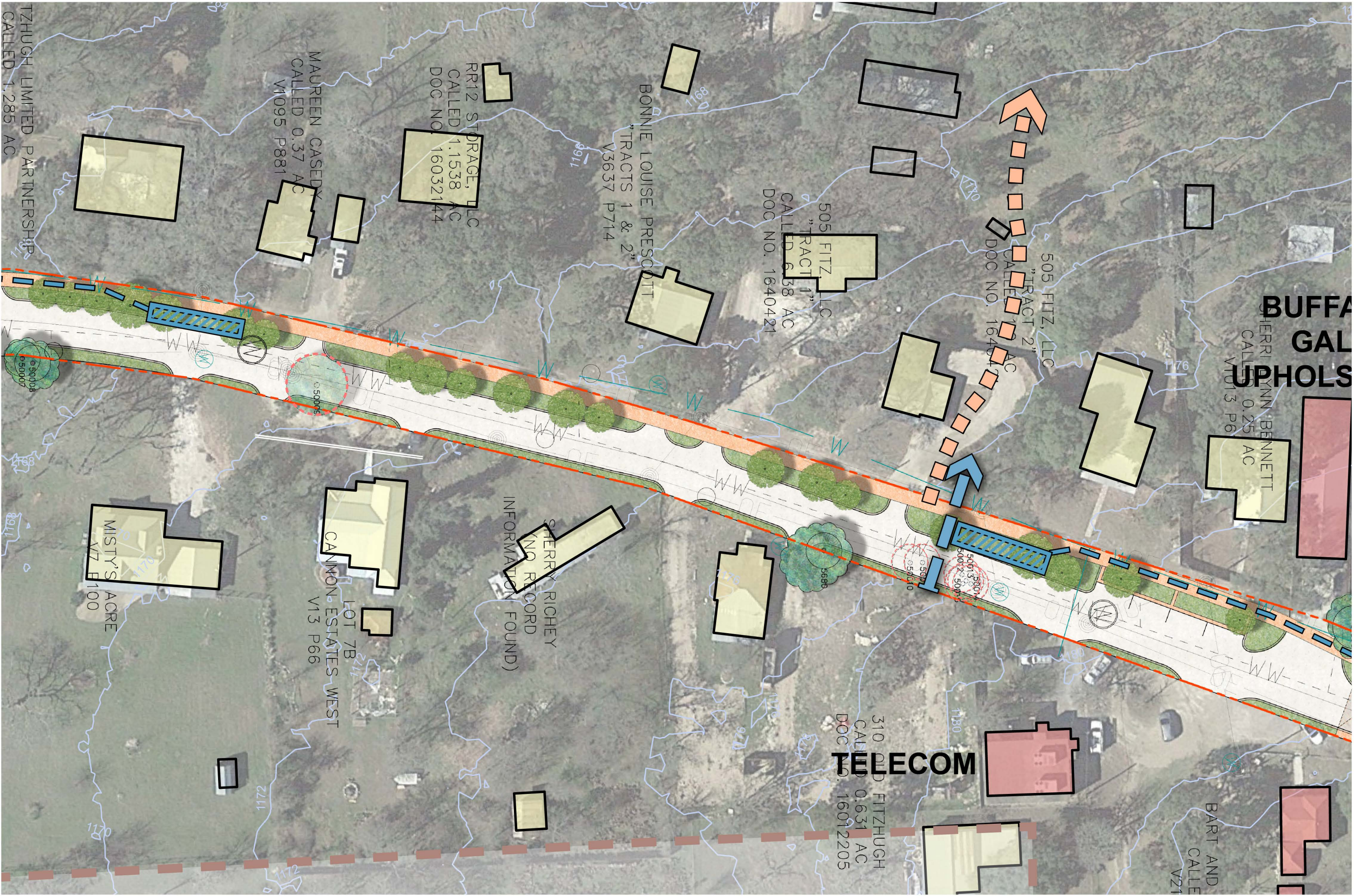
WEEN
PROPERTIES, LLC
CALLED 0.44 AC
V5386 P449

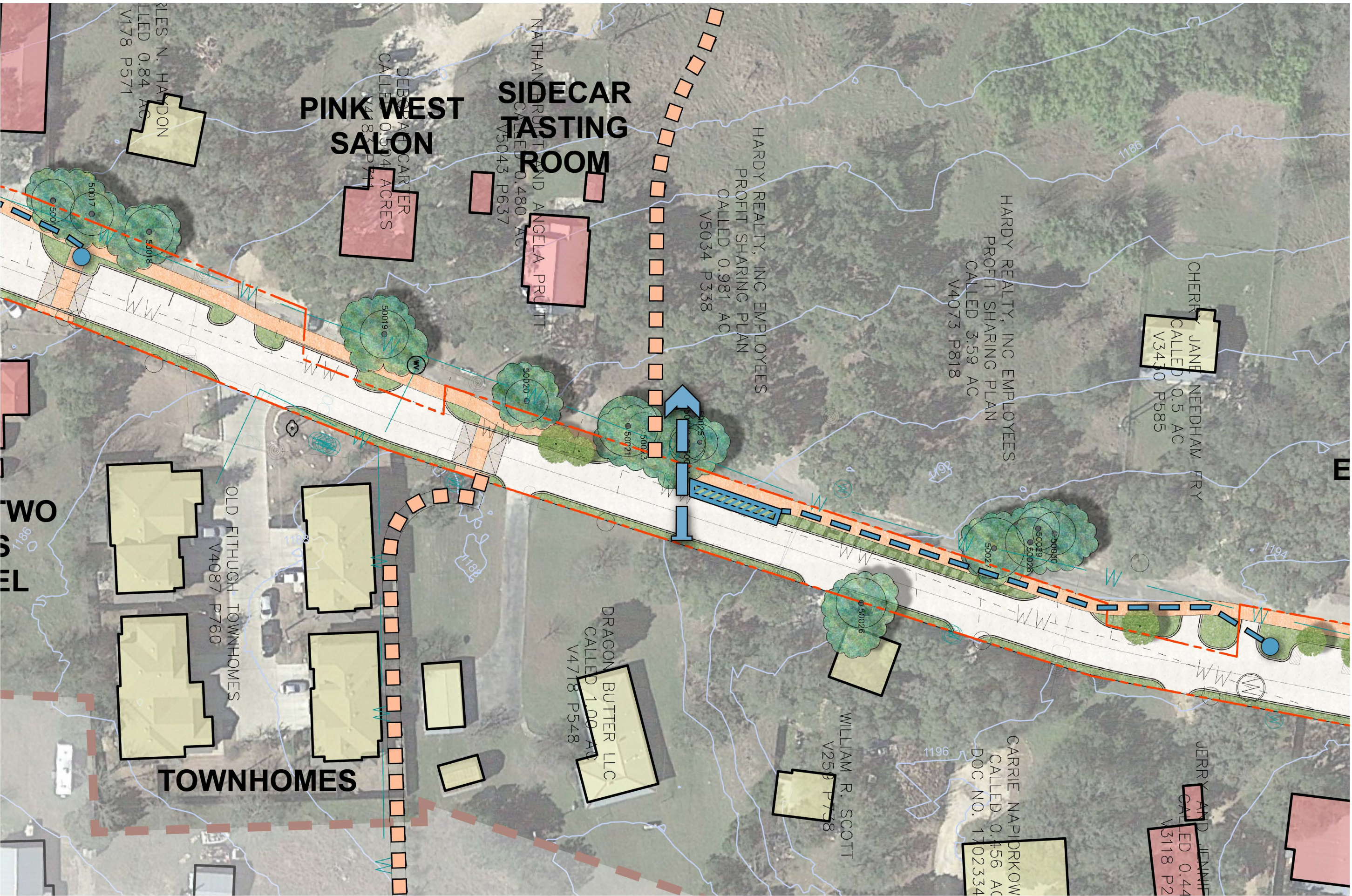
MERCER STREET HOLDINGS II, LLC
CALLED 0.215 AC
DOC NO. 16041774

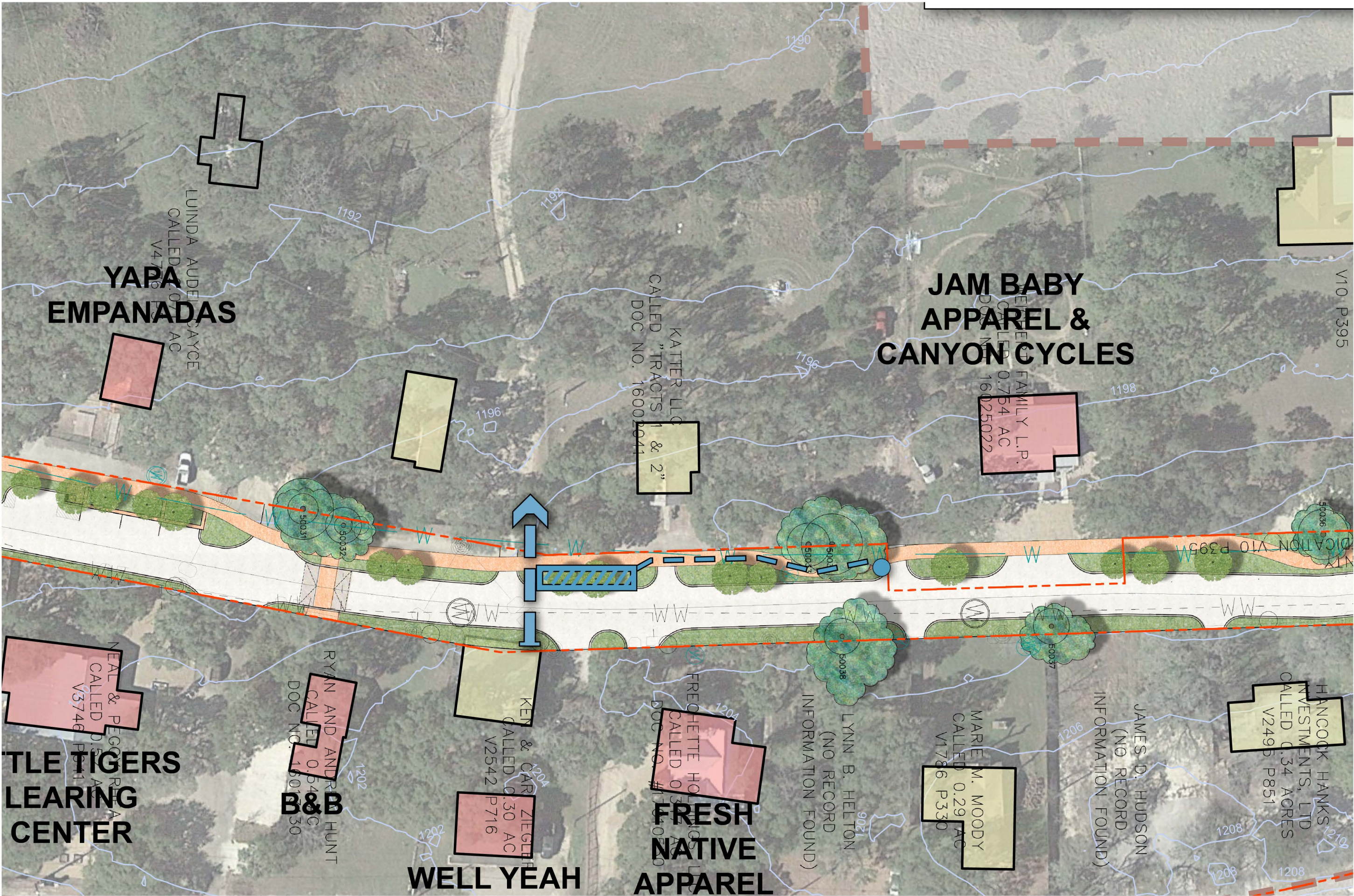
WILLIAM R. SCOTT
& BESSIE F. SCOTT
V247 P767

LOT 2
CANNON ESTATES WEST
V8 P195









50029	LIVE OAK	15"	K
50030	LIVE OAK	17"	K
50031	LIVE OAK	MULTIPLE 28"	K
50032	LIVE OAK	12"	K
50033	LIVE OAK	19"	K
50034	LIVE OAK	MULTIPLE 33"	K
50035	LIVE OAK	12"	K
50036	LIVE OAK	25"	K
50037	LIVE OAK	11"	K
50038	LIVE OAK	10"	K
60001	LIVE OAK	28"	K
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60004	LIVE OAK	19"	K
60005	LIVE OAK	30"	K
60125	LIVE OAK	24"	NOT IN SITE
60126	LIVE OAK	27"	NOT IN SITE
60127	LIVE OAK	24"	NOT IN SITE
5680	LIVE OAK	12"	K





- LEGEND
- PROPOSED ROADWAY CENTERLINE
 - EXISTING RIGHT OF WAY
 - EXISTING PROPERTY LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING WATER LINE
 - EXISTING WASTE WATER LINE
 - EXISTING POWER POLE
 - EXISTING GUY WIRE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING WATER METER
 - EXISTING FIRE HYDRANT
 - EXISTING WASTE WATER MANHOLE
 - EXISTING WASTE WATER CLEANOUT
 - PROPOSED TREE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED

DRAFT
Old Fitzhugh Road Concept Plan
Dripping Springs
HDR Engineering May 24, 2018

